

051.A

0004

0005.0

Map

Block

Lot

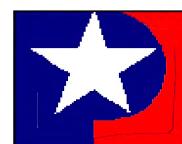
1 of 1
CARDResidential
ARLINGTONAPPRAISED:
USE VALUE:
ASSESSED:Total Card / Total Parcel
758,200 / 758,200
758,200 / 758,200
758,200 / 758,200

PROPERTY LOCATION

No	Alt No	Direction/Street/City
23		CENTRAL ST, ARLINGTON

IN PROCESS APPRAISAL SUMMARY

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value	Legal Description
102	0.000	755,700	2,500		758,200	
Total Card	0.000	755,700	2,500		758,200	Entered Lot Size
Total Parcel	0.000	755,700	2,500		758,200	Total Land:
Source:	Market Adj Cost		Total Value per SQ unit /Card:	450.24	/Parcel: 450.24	Land Unit Type:


Patriot
Properties Inc.

OWNERSHIP	Unit #:	2
Owner 1: MULVEY CHRISTOPHER J &		
Owner 2: FORMAN LEILA B		
Owner 3:		
Street 1: 23 CENTRAL ST UNIT 2		
Street 2:		

Twn/City: ARLINGTON	St/Prov: MA	Cntry:	Own Occ: Y
	Postal: 02476	Type:	

PREVIOUS OWNER
Owner 1: MITCHELL DONALD -
Owner 2: MITCHELL LOIS E -
Street 1: 23 CENTRAL ST UNIT 2
Twn/City: Arlington
St/Prov: MA
Postal: 02474

NARRATIVE DESCRIPTION
This parcel contains . Sq. Ft. of land mainly classified as Condo with a Condo Conv Building built about 1850, having primarily Clapboard Exterior and 1684 Square Feet, with 1 Unit, 1 Bath, 0 3/4 Bath, 1 HalfBath, 7 Rooms, and 2 Bdrms.

OTHER ASSESSMENTS
Code Descrip/No Amount Com. Int

PROPERTY FACTORS						
Item	Code	Description	%	Item	Code	Description
Z	R2	TWO FAMIL	100	water		
o				Sewer		
n				Electri		
Census:				Exempt		
Flood Haz:						
D				Topo		
s				Street		
t				Gas:		

LAND SECTION (First 7 lines only)

Use Code	Description	LUC Fact	No of Units	Depth / PriceUnits	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adj	Neigh	Neigh Influ	Neigh Mod	Infl 1	%	Infl 2	%	Infl 3	%	Appraised Value	Alt Class	%	Spec Land	J Code	Fact	Use Value	Notes
102	Condo		0	Sq. Ft.	Site			0	0.	0.00	7404																

PREVIOUS ASSESSMENT							Parcel ID	051.A-0004-0005.0		
Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Asses'd Value	Notes	Date
2022	102	FV	755,700	2500	.		758,200		Year end	12/23/2021
2021	102	FV	733,600	2500	.		736,100		Year End Roll	12/10/2020
2020	102	FV	722,600	2500	.		725,100	725,100	Year End Roll	12/18/2019
2019	102	FV	634,600	2500	.		637,100	637,100	Year End Roll	1/3/2019
2018	102	FV	561,300	2500	.		563,800	563,800	Year End Roll	12/20/2017
2017	102	FV	511,700	2500	.		514,200	514,200	Year End Roll	1/3/2017
2016	102	FV	511,700	2500	.		514,200	514,200	Year End	1/4/2016
2015	102	FV	450,300	2500	.		452,800	452,800	Year End Roll	12/11/2014

SALES INFORMATION			TAX DISTRICT			PAT ACCT.			
Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	Tst	Verif	Notes
MITCHELL DONAL	129-121		3/31/2014		545,000	No	No		
KANE THOMAS	U65-179		7/22/1999		319,900	No	No	4	

BUILDING PERMITS										ACTIVITY INFORMATION						
Date	Number	Descrip	Amount	C/O	Last Visit	Fed Code	F. Descrip	Comment	Date	Result	By	Name				
11/26/2008	1455	Addition	16,750			G10	GR FY10	4x6 addition to ex	7/19/2018	Measured	DGM	D Mann				
9/29/2000	801	Redo Kit	50,000	O				REMODEL KITCHEN-1/	6/23/2009	Info Fm Prmt	BR	B Rossignol				

Sign: VERIFICATION OF VISIT NOT DATA _____ / _____ / _____

